



COMMUNITY ZONING INFORMATION MEETING

Wednesday, April 19, 2023 at 4:00 p.m.

City Hall – Council Chambers

2006 Heritage Walk, Milton GA 30004

AGENDA

Agenda Item	Text Amendment
RZ23-01	Article XIX Crabapple Form Based Code as it relates to possible amendments related to the District at Mayfield and other related topics of the Crabapple Form Based Code.

Public Hearings/Meetings:

Community Zoning Information Meeting

Wednesday, April 19, 2023 at 4:00 p.m.

Planning Commission Meeting

Wednesday, April 26, 2023 at 6:00 p.m.

Design Review Board Meeting (Courtesy Review)

Tuesday, May 2, 2023 at 6:00 p.m.

Mayor and City Council Meeting

Monday, June 5, 2023 at 6:00 p.m.

Location:

Milton City Hall – Council Chambers

2006 Heritage Walk

Milton, GA 30004

678-242-2540

**AN ORDINANCE TO AMEND ARTICLE XIX CRABAPPLE FORM BASED CODE,
(CHAPTER 64 OF THE CITY CODE) TO ESTABLISH THE DISTRICT AT MAYFIELD
AND TO AMEND THE CRABAPPLE REGULATING PLAN**

BE IT ORDAINED by the City Council of the City of Milton, GA while in a regularly called council meeting on June 6, 2023 at 6:00 p.m. as follows:

SECTION 1. That the amended Crabapple Regulating Plan is hereby adopted and approved; and is attached hereto as if fully set forth therein; and

SECTION 2. That the amendments of Article XIX shown in Sections 2.1 through XX are hereby adopted and approved; and are attached hereto as if fully set forth herein; and

SECTION 3. All ordinances, parts of ordinances, or regulations in conflict herewith are repealed; and

SECTION 4. That this Ordinance shall become effective upon its adoption.

ORDAINED this the 6th day of June, 2023.

Peyton Jamison, Mayor

Attest:

Tammy Lowit, City Clerk

Section 2.1. Public Standards along Mid Broadwell Road

That a new Section 3.5.7 regarding public standards along Mid Broadwell Road is hereby created (new language underlined) and said section shall read as follows:

3.5.7 Specific to Mid Broadwell Road

- a. The requirements of specific Transect Zones and Special Districts notwithstanding, the Public Frontage standards shall not apply to any portion of Mid Broadwell Road that is closed to vehicular traffic.
- b. The community development director and the public works director shall determine the Public Frontage Standards along any portion of Mid Broadwell Road that is closed to vehicular traffic, after consulting any applicable City of Milton plans for the area.

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Section 2.2. Civic Zones

That Section 3.6 regarding Civic Zones is hereby amended (new language underlined and deleted language stricken through), so that, as amended, said section shall read as follows:

3.6 – Civic Zones

3.6.1 General

- a. Civic Zones are designated on the Crabapple Regulating Plan, on an Infill Regulating Plan, or on a site subject to Section 3.6.2(a) as Civic Building Sites or Civic Spaces.

3.6.2 Civic Spaces

- a. Sites of more than 4 acres and not located within an Infill Regulating Plan shall dedicate at least 5% of their total area to Civic Space.
- b. Civic Spaces shall be designed as described in Table 4 and shall be accessible to the public during normal City of Milton park hours or longer each day.
- c. Each Civic Space shall have a minimum of 50% of its perimeter Enfronting one or more Thoroughfare, except as otherwise stated below:
 - i. A Playground or Pocket Park shall have a minimum of 25% of its perimeter Enfronting one or more Thoroughfares.
 - ii. A Park shall have a minimum of 100 feet of its perimeter Enfronting one Thoroughfare.
 - iii. Within the District at Mayfield, all Civic Spaces shall have a minimum of 20 feet of their perimeter Enfronting one or more Thoroughfares.
- d. Each Civic Space shall be at least 60 feet in width and length, except for Parks and within the District at Mayfield.
- e. The following areas shall not count towards satisfying Civic Space requirements:
 - i. Greenways, except where they pass through a Civic Space meeting the requirements of Table 4;
 - ii. Undisturbed natural vegetative buffers along stream as required by Section 20-426 of the Code of the City of Milton; and
 - iii. Retention and detention areas used for permanent or occasional water storage.
- f. Sites identified as suitable for Civic Spaces on the Crabapple Regulating Plan are not mandatory and are identified for TDR purposes only, as established in Section 1.7.

Section 2.3. Off-Street Parking and Loading

That Section 3.9 regarding off-street parking and loading is hereby amended (new language underlined and deleted language stricken through), so that, as amended, said section shall read as follows:

4.9 – Off-Street Parking and Loading

4.9.1 Minimum off-street parking for all transect zones shall be 3.5 parking spaces per 1,000 gross square feet of building area except for single-family residential uses and lodging as provided below.

- a. All single-family residential uses shall provide 2 parking spaces per unit.
- b. All lodging uses shall provide 1 parking space per room.
- c. Off-street loading for all other uses shall be provided in accordance with Article VII of this zoning ordinance.

4.9.2 Subject to the approval of the director of the community development department by Warrant, off-street parking as required by 4.9.1 may be reduced up to ten percent. Shared parking among uses are is permitted per Sec. 64-1411.

4.9.3 On-street parking along the parking lane corresponding to the Lot Frontage shall be used to satisfy the parking requirements for Residential Functions.

4.9.4 All Office, Lodging, Retail, Civic, and Education Functions, and Apartment Buildings shall provide a minimum of one bicycle rack to accommodate a minimum of one bicycle space for every ten vehicular parking spaces. Said rack(s) shall be located within the Public or Private Frontage.

4.9.5. Off-site Parking

- a. Off-site parking is allowed anywhere within the District at Mayfield.
- b. Off-site parking in any other location shall conform to Sec. 64-1436.
- c. No parking used for off-site parking may be used to satisfy the requirement of multiple on- or off-site Functions without approval of shared parking per Sec. 64-1411.

Section 2.4. Architectural Standards

That Sections 4.16.2 and 4.16.3 regarding architectural styles is hereby amended (new language underlined and deleted language stricken through), so that, as amended, said sections shall read as follows:

4.16.2 The following shall apply to all buildings, except within the District at Mayfield:

- a. All buildings, except single-family detached residential shall be designed in one of the following styles as defined in Article 7 of This Code:
 - i. Vernacular
 - ii. Greek Revival
 - iii. Italianate
 - iv. Gothic
 - v. Queen Anne
 - vi. Colonial Revival
 - vii. Adams/Federal
- b. ~~4.16.3~~ Single-family residential buildings shall be designed in one of the styles set forth in Section 4.16.2.a by-right, or in a simplified interpretation thereof by Warrant. Notwithstanding the provisions of section 1.5.3, in considering whether to approve a Warrant with respect to architectural standards for single-family residential buildings, the community development director shall consider whether the building design, while not strictly in accordance with the style requirements, meets the intent set forth in Section 1.1 and will not adversely affect adjacent properties or the public health, safety, and welfare.

4.16.3 Within the District at Mayfield, all buildings shall be designed in one of the following styles as defined in Article 7 of This Code:

- a. Vernacular
- b. Queen Anne
- c. Colonial Revival

Section 2.5. Building Placement

That Section 4.4 regarding building placement is hereby amended (new language underlined and deleted language stricken through), so that, as amended, said section shall read as follows:

4.4 – Building Placement

4.4.1 Specific to zones T2, T3, T4, T5

- a. Newly platted Lots shall be dimensioned according to Table 10 section e except as otherwise approved by Warrant.
- b. Building Placement types shall be as shown in Table 6 and Table 10 section h except within the District at Mayfield or as otherwise approved by Warrant.
- c. Buildings shall be placed in relation to the boundaries of their lots according to Table 10 and Table 12 except within the District at Mayfield or as otherwise approved by Warrant.
- d. Only one ~~One~~ Principal Building at the Frontage, and only one Outbuilding to the rear of the Principal Building, may be built on each Lot as shown in Table 12 except more may be approved within the District at Mayfield or as otherwise approved by Warrant.
- e. Lot coverage by building shall not exceed that recorded in Table 10 section e except as otherwise approved by Warrant.
- f. Façades shall be built parallel to a rectilinear Principal Frontage Line or to the tangent of a curved Principal Frontage Line, and along a minimum percentage of the Frontage width at the Setback, as specified as Frontage Buildout on Table 10 section f, except within the District at Mayfield or as otherwise approved by Warrant.
- g. Setbacks for Principal Buildings shall be as shown in Table 10 section f except within the District at Mayfield or as otherwise approved by Warrant.
- h. Rear Setbacks for Outbuildings shall be a minimum of 12 feet measured from the centerline of a Rear Alley or Rear Lane easement. In the absence of Rear Alley or Rear Lane, the rear Setback shall be as shown in Table 10.
- i. To accommodate slopes over 10%, relief from front Setback requirements of Table 10 is available by Warrant.
- j. To accommodate the preservation of specimen trees as established in the tree preservation ordinance, relief from all setbacks, lot widths, and lot coverage is available by Warrant.

4.4.2 Specific to zone T3

- a. Where use of a lesser setback is permitted for projects utilizing TDR, the amount of TDR utilized within the T3 zone shall equal at least one Building Unit per gross acre multiplied by the area of said T3 zone.

4.4.3 Specific to zones T4 Open, T5

- a. The Principal Entrance shall be on a Frontage Line, except within the District at Mayfield.

4.4.4 Specific to the District at Mayfield

- a. Only Edgeyard and Sideyard building placements shall be allowed.
- b. Façades shall be built parallel to a rectilinear Principal Frontage Line, or to the tangent of a curved Principal Frontage Line, or parallel to the edge of a Civic Space and along a minimum percentage of the Frontage width at the Setback, as specified as Frontage Buildout on Table 10 section f, except as provided for in "d" below.
- c. The minimum front setback for Principal Buildings shall be 5 feet minimum and 30 ft. maximum, except as provided for in "d" immediately below.
- d. When a Lot includes one or more legal Principal Buildings placed along the Principal Frontage Line, then one Principal Building that does not Enfront a Principal Frontage Line or Civic Space is allowed on the Lot. This additional Principal Building's Façade may have any orientation, shall have no Front Setback requirements, and shall have no Frontage Buildout Requirements.

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Section 2.6. Building Form

That Section 4.5.1 regarding building form general to zones T2, T3, T4, T5 is hereby amended (new language underlined and deleted language stricken through), so that, as amended, said section shall read as follows:

General to zones T2, T3, T4, T5

- a. Buildings shall consist of simple rectangular forms. There shall be one primary volume with optional secondary volumes. Secondary volumes shall butt into the primary volume. The roof form of the primary volume shall clearly dominate. Secondary roof forms shall never dominate the composition, and shall not be taller than the primary, excluding masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads.
- b. The maximum building size shall be as follows:
 - i. The maximum building footprint shall be 18,000 square feet and the maximum overall building size shall be 36,000 square feet.
 - ii. A group of two or more buildings that share at least one common wall will be considered as one building.
- c. The Private Frontage of buildings shall conform to Table 7 and Table 10.
- d. Buildings on corner Lots shall have two Private Frontages as shown in Table 12. Prescriptions for the Second and Third Layers pertain only to the Principal Frontage. Prescriptions for the First Layer pertain to both Frontages.
- e. Building heights shall conform to Table 5, except within the District at Mayfield, where Section 4.5.1.L below shall apply.
- f. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial or Civic Function, which shall be a minimum of 11 feet with a maximum of 25 feet. A single floor level exceeding 14 feet, or 25 feet at ground level, shall be counted as two stories. Mezzanines extending beyond 33% of the floor area shall be counted as an additional Story.
- g. A first level Residential Function may be raised a maximum of 6 feet from average Sidewalk grade unless a greater height is approved by Warrant.
- h. In a Parking Structure or garage, each above-ground level counts as a single Story regardless of its relationship to habitable Stories.
- i. Building height limits do not apply to attics, above-ground portions of basements, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads. Attics shall not exceed 14 feet in height.
- j. The habitable area of an Accessory Unit within a Principal Building or an Outbuilding shall not exceed 440 square feet, excluding the parking area.
- k. The maximum number of attached Rowhouse units in a building shall be eight.
- l. Within the District at Mayfield, no building shall exceed the following heights:
 - i. Without ground floor Civic or Commercial Function: max. 28 ft.; or


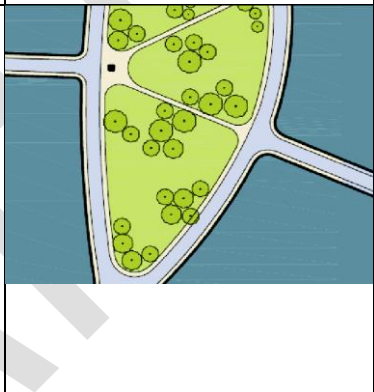
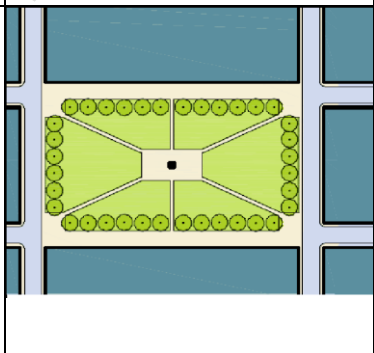
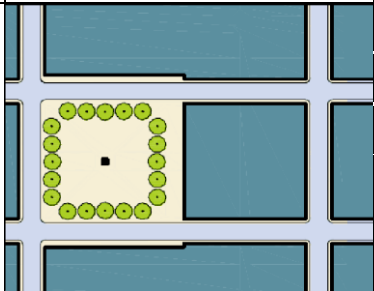

- ii. With ground floor Civic or Commercial Function: max. 39 ft.; and
- iii. Two full stories in height plus a habitable attic.

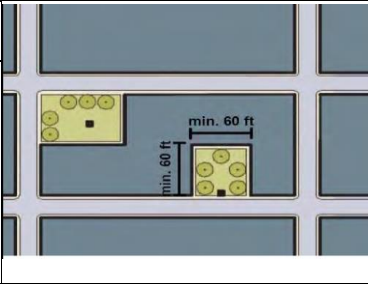
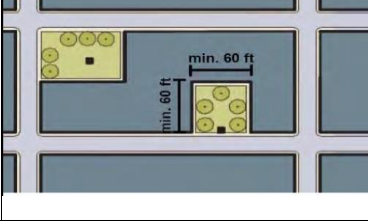
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Section 2.7. Table Amendments

That Table 4, 5, 6, 10, 11A, 11B, and 11C are hereby amended (new language underlined and deleted language stricken through), so that, as amended, said tables shall read as follows:

Table 4: Civic Space

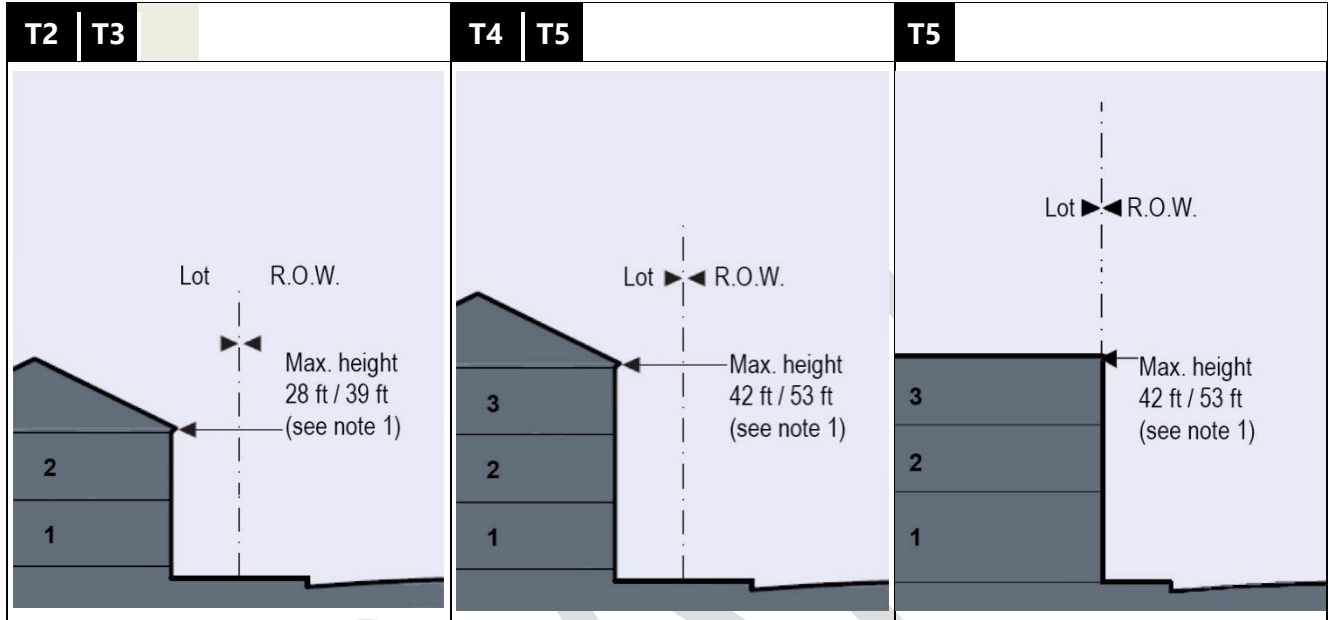
<p>a. Park: A natural preserve available for unstructured recreation. A park may be independent of surrounding building Frontages. Its landscape shall consist of Paths and trails, meadows, water bodies, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. The minimum size shall be 8 acres. Every Park and portions thereof shall be at be at least 60 feet in width and length.</p>		<p>T 2 T 3</p>
<p>b. Green: An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres, <u>except within the District at Mayfield</u>. Every Green and portions thereof shall be at be at least 60 feet in width and length, <u>except within the District at Mayfield</u>.</p>		<p>T 3 T 4 T 5</p>
<p>c. Square: An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres, <u>except within the District at Mayfield</u>. Every Square and portions thereof shall be at be at least 60 feet in width and length, <u>except within the District at Mayfield</u>.</p>		<p>T 4 T 5</p>
<p>d. Plaza: An Open Space available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 2 acres, <u>except within the District at Mayfield</u>. Every Plaza and portions thereof shall be at be at least 60 feet in width and length, <u>except within the District at Mayfield</u>.</p>		<p>T4' T5 T6</p>
<p>e. Playground: An Open Space designed and equipped for the recreation of children. A Playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no</p>		<p>T2 T3</p>

<p>minimum or maximum area, except that every Playground shall be at least 60 feet in width and length, <u>except within the District at Mayfield.</u></p>		<p>T4</p>
<p>f. Pocket Park: An Open Space available for passive recreation and relaxation. Pocket Parks shall include seating, trees, and other landscaping. Pocket Parks shall be interspersed within Residential areas. There shall be no minimum or maximum area, except that every Pocket Park shall be at least 60 feet in width and length, <u>except within the District at Mayfield.</u></p>		<p>T 5 T 6</p>

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Table 5: Building Form - Height.

This table shows the configurations for different building heights for each Transect Zone, except within the District at Mayfield Section 4.5.1.L shall apply.



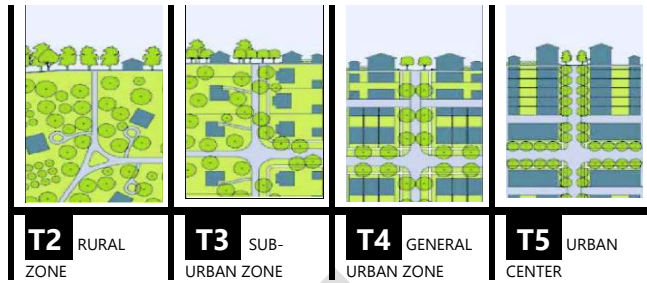
1. Max. height without ground floor Civic or Commercial Function/Max. height with ground floor Civic or Commercial Function.

Table 6: Building Placement

This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone, except as further restricted by in the District at Mayfield by Sec. 4.4.4.

<p>a. Edgeyard: A building that occupies the center of its lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>		<p>T2 T3 T4 T5</p>
<p>b. Sideyard: A building that occupies one side of the lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. Energy costs, and sometimes noise, are reduced by sharing a party wall in this disposition.</p>		<p>T4 T5</p>
<p>c. Rearyard: A building that occupies the full Frontage, leaving the rear of the lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Townhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>		<p>T4 T5</p>
<p>d. Courtyard: A building that occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>		<p>T5</p>

Table 10: Code Summary



	T2 RURAL ZONE	T3 SUB-URBAN ZONE	T4 GENERAL URBAN ZONE	T5 URBAN CENTER
a. BASE BUILDING DENSITY (See Section 1.6)				
By Right	1 unit/ac.	3 units/ac.	5 units/ac.	9 units/ac.
By TDR	TDR not permitted	6 units/ac.	9 units/ac.	14 units/ac.
b. BLOCK SIZE				
Block Perimeter	no maximum	3,000 ft. max.	2,400 ft. max.	2,000 ft. max.
c. THOROUGHFARES (See Table 2 and Table 3)				
HW	permitted	permitted	not permitted	not permitted
BV	not permitted	permitted	permitted	permitted
AV	not permitted	permitted	permitted	permitted
CS	not permitted	not permitted	not permitted	permitted
DR	not permitted	permitted	permitted	permitted
ST	not permitted	permitted	permitted	permitted
RD	permitted	permitted	not permitted	not permitted
Rear Lane	permitted	permitted	required, or Alley	not permitted
Rear Alley	not permitted	permitted	required, or Lane	required
Path	permitted	permitted	permitted	not permitted
Passage	not permitted	permitted	permitted	permitted
Multi-Use Trail	permitted	permitted	permitted	permitted
Equestrian Trail	permitted	permitted	permitted	permitted
Bicycle Lane	permitted	permitted	permitted	permitted
Bicycle Route	permitted	permitted	permitted	permitted
d. CIVIC SPACES (See Table 4)				
Park	permitted	permitted	by Warrant	by Warrant
Green ¹	not permitted	permitted	permitted	permitted
Square ²	not permitted	not permitted	permitted	permitted
Plaza ²	not permitted	not permitted	not permitted	permitted
Playground, Pocket Park ²	permitted	permitted	permitted	permitted
e. LOT OCCUPATION				
Lot Width	100 ft. min	70 ft. min 120 ft. max.	18 ft. min 96 ft. max.	18 ft. min 180 ft. max.
Lot Coverage	20% max	60% max.	70% max.	80% max.
f. SETBACKS - PRINCIPAL BUILDING (See Table 11)				
(f.1) Front Setback Principal ¹	60 ft. min.	15 or 20 ft. min. ²	10 ft. min. 30 ft. max.	2 ft. min. 15 ft. max.
(f.2) Front Setback Secondary ²	40 ft. min.	12 ft. min.	8 ft. min. 20 ft. max.	2 ft. min. 15 ft. max.
(f.3) Side Setback	25 ft. min.	5 or 10 ft. min. ²	0 ft. min.	0 ft. min. 24 ft. max.
(f.4) Rear Setback	50 ft. min.	12 ft. min.	3 ft. min.	3 ft. min.
Frontage Buildout	not applicable	30% min.	50% min.	70% min.
g. SETBACKS - OUTBUILDING (See Table 11)				
Front Setback	20 ft. min. + bldg.	20 ft. min. + bldg.	20 ft. min. + bldg.	40 ft. max. from rear
Side Setback	25 ft. min.	3 ft. or 6 ft. min. ³	0 ft. or 3 ft. min. ³	0 ft. min.
Rear Setback	50 ft. min.	3 ft. min.	3 ft.	3 ft. max.
h. BUILDING PLACEMENT (See Table 6 and)				
Edgeyard ²	permitted	permitted	permitted	not permitted
Sideyard ²	not permitted	not permitted	permitted	permitted
Rearyard ²	not permitted	not permitted	permitted	permitted
Courtyard ²	not permitted	not permitted	not permitted	permitted
i. PRIVATE FRONTAGES (See Table 7)				
Common Yard	permitted	permitted	not permitted	not permitted
Porch & Fence	permitted	permitted	permitted	not permitted
Terrace, Dooryard	not permitted	not permitted	permitted	permitted
Forecourt	not permitted	not permitted	permitted	permitted
Stoop	not permitted	not permitted	permitted	permitted
Shopfront	not permitted	not permitted	permitted	permitted
Gallery	not permitted	not permitted	permitted	permitted
j. BUILDING FORM-HEIGHT (See Table 5)				
Principal Building ²	2-3 stories max.	2-3 stories max.	3 stories max. 1 min.	3 stories max. 1 min.
Outbuilding	2-3 stories max.	2-3 stories max.	2 stories max.	2 stories max.
k. BUILDING FUNCTION (See Table 8 and Table 9)				
Residential	restricted use	restricted use	limited use ⁴	open use
Lodging	prohibited use	restricted use	limited use ⁴	open use
Office	restricted use	restricted use	restricted use ⁴	open use
Retail	prohibited use	prohibited use	limited use ⁴	open use

BUILDING PLACEMENT

BUILDING FORM

FUNCTION

Sec. 7.4

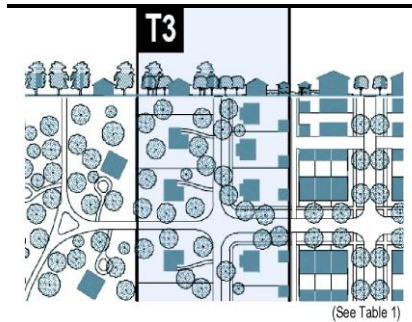
Sec. 7.1 through 7.3

3. Greater setback shall apply at a corner; lesser shall apply in all other situations.

1. Minimum setbacks and building separations are subject to fire and building code restrictions.
 2. Greater setback applies except for projects utilizing TDR, in which case the lesser setback applies.

4. Within T4-Restricted and T4-Open different Building Function requirements
 5. Within the District at Mayfield different requirements apply.

Table 11A: Code Graphics - T3



I. BUILDING FUNCTION (see Tables 8 & 9)

Residential	restricted use
Lodging	restricted use
Office	restricted use
Retail	prohibited use

k. BUILDING FORM (see Table 8)***

Principal Building	2 stories max
Outbuilding	2 stories max.

f. LOT OCCUPATION (see Table 10 section e)

Lot Width	70 ft. min 120 ft.
Lot Coverage	60% max

i. BUILDING PLACEMENT (see Table 6)***

Edgeward	permitted
Sideward	not permitted
Rearward	not permitted
Courtyard	not permitted

g. SETBACKS - PRINCIPAL BUILDING (see Table 10 section f)***

(g.1)Front Setback	15 or 20 ft. min*
(g.2)Front Setback	12 ft. min
(g.3)Side Setback	5 or 10 ft. min*
(g.4)Rear Setback	12 ft. min**
Frontage Buildout	30% min at setback

h. SETBACKS - OUTBUILDING (see Table 10 section g)

(h.1)Front Setback	20 ft. min. + bldg.
(h.2)Side Setback	3 ft. min. or 6 ft. min.
(h.3)Rear Setback	3 ft. min

j. PRIVATE FRONTAGES (see Table 7)

Common Yard	permitted
Porch & Fence	permitted
Terrace or Lightwell	not permitted
Forecourt	not permitted
Stoop	not permitted
Shopfront & Awning	not permitted
Gallery	not permitted

Refer to Summary Table 10

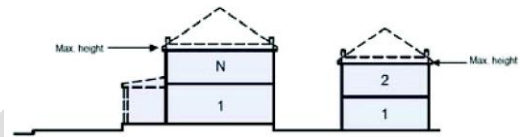
*Greater setback applies except for projects utilizing TDR, in which case the lesser setback applies.

**or 15 ft. from center line of alley.

***Within the District at Mayfield different requirements apply.

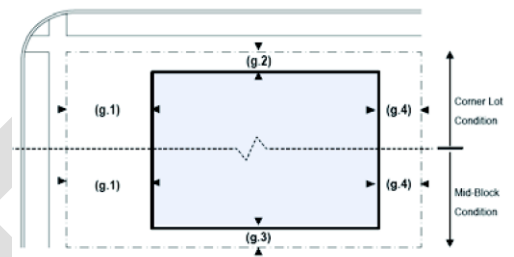
BUILDING CONFIGURATION

1. Building height is measured in number of Stories, excluding attics and above-ground portions of basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling.
3. Height is measured to the eave or roof deck as specified on Table 5.



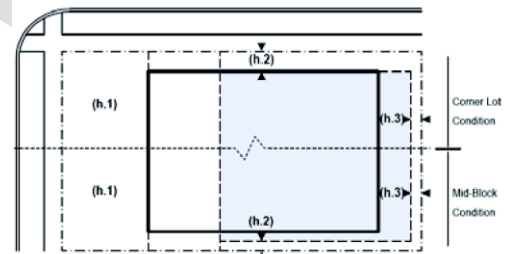
SETBACKS – PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings must be distanced from the Lot lines as shown.
2. Facades must be built along the Principal Frontage to the minimum specified width in the table.



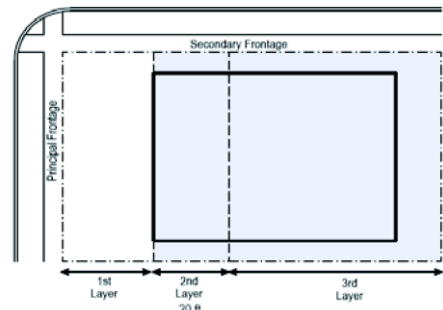
SETBACKS – OUTBUILDING

1. The Elevations of the Outbuilding must be distanced from the Lot lines as shown.



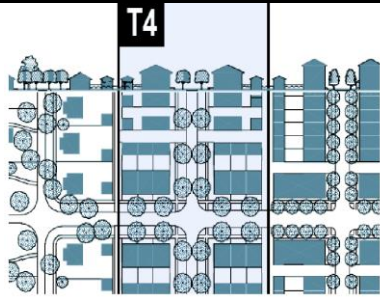
PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the second and third Layer as shown in the diagram (see Table 12 section d).
2. Covered parking may only be provided within the third Layers as shown in the diagram (see Table 12 section d). Side- or rear-entry garages may be allowed in the first or second Layer by Warrant.
3. Trash containers must be stored within the third Layer.



"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

Table 11B: Code Graphics - T4



(See Table 1)

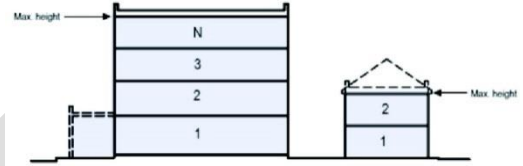
I. BUILDING FUNCTION (See Tables 8 & 9)	
Residential	limited use*
Lodging	limited use*
Office	restricted use*
Retail	limited use*
k. BUILDING FORM (See Table 5)***	
Principal Building	3 stories max.
Outbuilding	2 stories max.
f. LOT OCCUPATION (See Table 10 section e)	
Lot Width	18 ft. min., 96 ft.
Lot Coverage	70% max.
i. BUILDING PLACEMENT (See Table 6)***	
Edgeward	permitted
Sideward	permitted
Rearward	permitted
Courtyard	not permitted
g. SETBACKS - PRINCIPAL BUILDING (See Table 10 section f)***	
(g.1)Front Setback	10 ft. min., 30 ft.
(g.2)Front Setback	8 ft. min., 20 ft.
(g.3)Side Setback	0 ft. min.
(g.4)Rear Setback	3 ft. min. **
Frontage Buildout	50% min. at
h. SETBACKS - OUTBUILDING (See Table 10 section g)	
(h.1)Front Setback	20 ft. min. +
(h.2)Side Setback	0 ft. min. or 3 ft.
(h.3)Rear Setback	3 ft. min.
PRIVATE FRONTAGES (See Table 7)	
Common Yard	not permitted
Porch & Fence	permitted
Terrace or Lightwell	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted

Refer to Summary Table 10

* Within T4-Restricted and T4-Open different Building Function requirements apply.
 ** or 15 feet from center line of alley.
 ***Within the District at Mayfield different requirements apply.

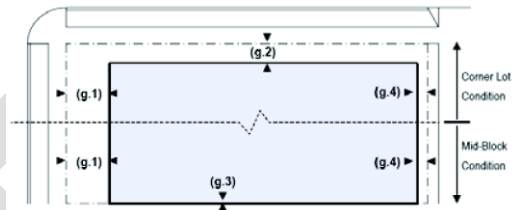
BUILDING CONFIGURATION

1. Building height is measured in number of Stories, excluding attics and above-ground portions of basements
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft. with a maximum of 25 ft.
3. Height is measured to the eave or roof deck as specified on Table 5.



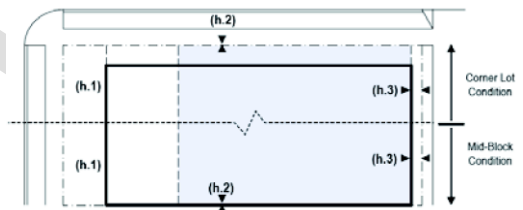
SETBACKS – PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings must be distanced from the Lot lines as shown.
2. Facades must be built along the Principal Frontage to the minimum specified width in the table.



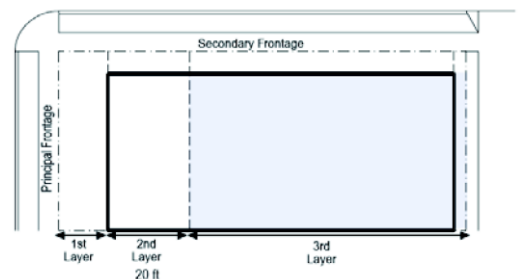
SETBACKS – OUTBUILDING

1. The Elevations of the Outbuilding must be distanced from the Lot lines as shown.



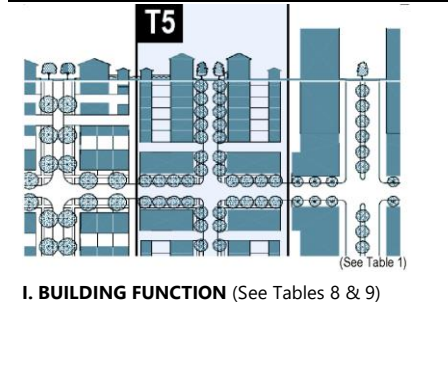
PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 12 section d).
2. Covered parking may only be provided within the third Layer as shown in the diagram (see Table 12 section d).
3. Trash containers must be stored within the third Layer.



"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

Table 11C: Code Graphics - T5



Residential	open use
Lodging	open use
Office	open use
Retail	open use

k. BUILDING FORM (See Table 5)**

Principal Building	3 stories max.
Outbuilding	2 stories max.

f. LOT OCCUPATION (See Table 10 section e)

Lot Width	18 ft. min., 180
Lot Coverage	80% max.

i. BUILDING PLACEMENT (See Table 6)**

Edgeyard	not permitted
Sidyard	permitted
Rearyard	permitted
Courtyard	permitted

g. SETBACKS - PRINCIPAL BUILDING (See Table 10 section f)**

(g.1)Front Setback	2 ft. min., 15 ft.
(g.2)Front Setback	2 ft. min., 15 ft.
(g.3)Side Setback	0 ft. min., 24 ft.
(g.4)Rear Setback	3 ft. min. *
Frontage Buildout	70% min. at

h. SETBACKS - OUTBUILDING (See Table 10g)

(h.1)Front Setback	40 ft. max. from
(h.2)Side Setback	0 ft. min. or 2 ft.
(h.3)Rear Setback	3 ft. max.

j. PRIVATE FRONTAGES (See Table 7)

Common Yard	not permitted
Porch & Fence	not permitted
Terrace or Lightwell	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted

Refer to Summary Table 10

* or 15 feet from center line of alley
 **Within the District at Mayfield different requirements apply.

BUILDING CONFIGURATION

1. Building height is measured in number of Stories, excluding attics and above-ground portions of basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 feet.
3. Height is measured to the eave or roof deck as specified on Table 8.

SETBACKS – PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings must be distanced from the Lot lines as shown.
2. Facades must be built along the Principal Frontage to the minimum specified width in the table.

SETBACKS – OUTBUILDING

1. The Elevations of the Outbuilding must be distanced from the lot lines as shown.

PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 12 section d).
2. Covered parking may only be provided within the third Layer as shown in the diagram (see Table 12 section d).
3. Trash containers must be stored within the third Layer.

"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

Section 2.8. Definitions

That Section 6.1 regarding definitions is hereby amended (new language underlined and deleted language stricken through) by adding new definitions that shall read as follows:

District at Mayfield: The area shown on the Crabapple Form Based Code Regulating Plan and that was the focus of a small area plan of the same name in late 2022 and early 2023.

Off-site parking: Required parking that is not located on the same lot as the use serves.

Off-street parking: Parking that is located within a Thoroughfare right-of-way.

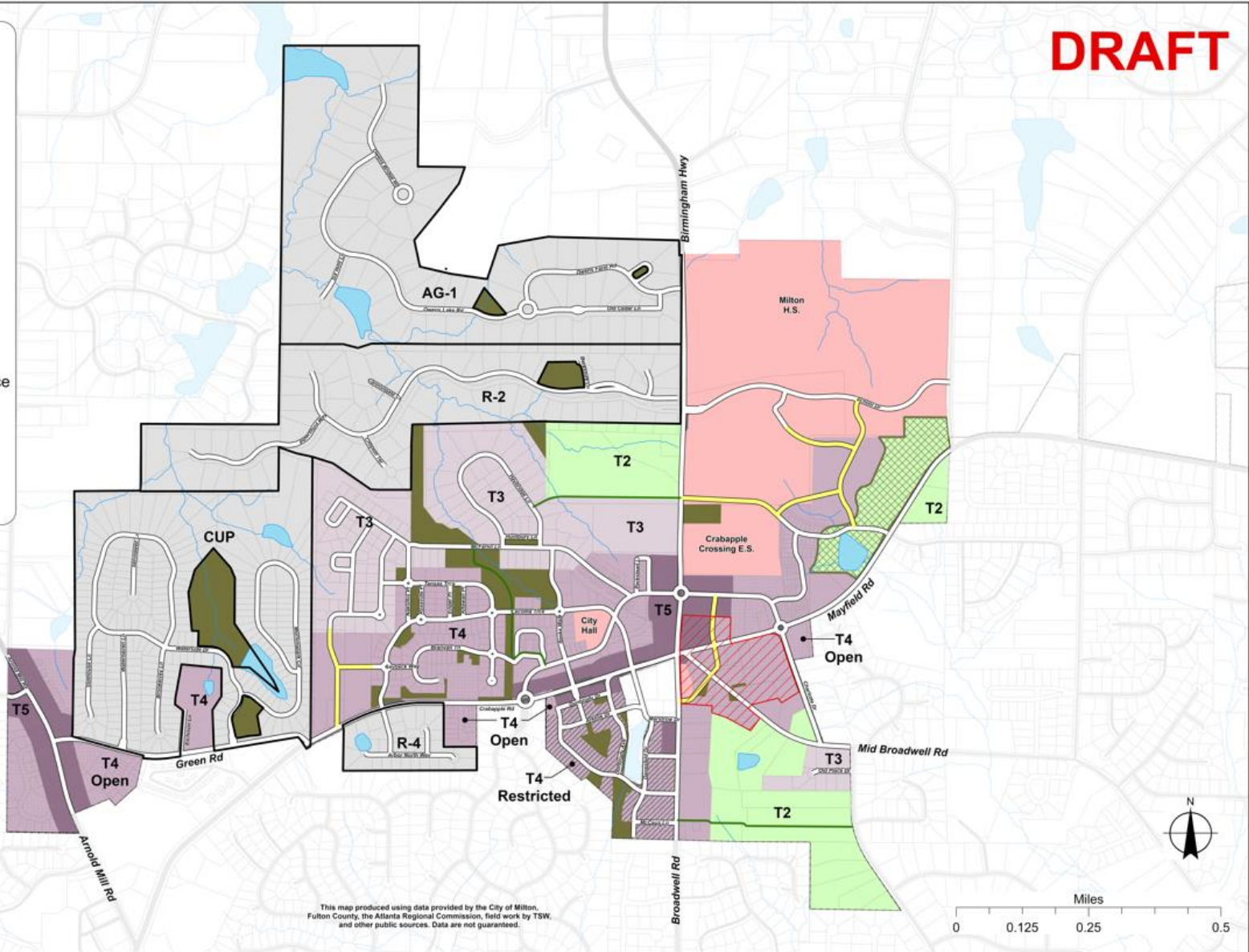
Shared parking: The use of parking spaces by two or more uses.

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DRAFT

Legend

- T5
- T4-Open
- T4
- T4-Restricted
- T3
- T2
- Civic Building Site
- Civic Space
- The District at Mayfield
- Suitable for a Civic Space
- Existing Thoroughfare
- Proposed Thoroughfare
- Proposed Greenway



Crabapple Regulating Plan

CRABAPPLE FORM-BASED CODE

April 14, 2023

Prepared by TSW